

Committee Date	11.01.2024	
Address	17 Chesterfield Close Orpington BR5 3PG	
Application Number	23/03189/FULL6	Officer - Jennie Harrison
Ward	St Mary Cray	
Proposal	The proposed erection of a single storey rear extension, and the proposed erection of an out-building in the rear garden.(RETROSPECTIVE)	
Applicant	Agent	
Mr M. Newton	Mr Matthew Hardcastle	
17 Chesterfield Close Orpington BR5 3PG	Hardcastle Architects 33 Lockhurst Street Lower Clapton London E5 0AP United Kingdom	
Reason for referral to committee	Councillor call in	
Call-In	Yes - Cllr Slator called in due to size and bulk being out of character and impact on no. 19	

RECOMMENDATION	Permitted
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<p>KEY DESIGNATIONS</p> <p>Article 4 Direction Biggin Hill Safeguarding Area London City Airport Safeguarding Open Space Deficiency Renewal Area Smoke Control SCA 26</p>

Representation summary	Letters to neighbours were sent out on the 21.08.2023	
Total number of responses		1
Number in support		0
Number of objections		1

1. SUMMARY OF KEY REASONS FOR RECOMMENDATION

- The proposal would extend by 4.5m at the ground floor
- Height of the parapet wall is 3.3m
- Outbuilding is sited to the rear garden
- Materials would match the existing

2. LOCATION

2.1. The site hosts a two storey semi-detached dwelling which is situated on the western side of Chesterfield Close, Orpington.

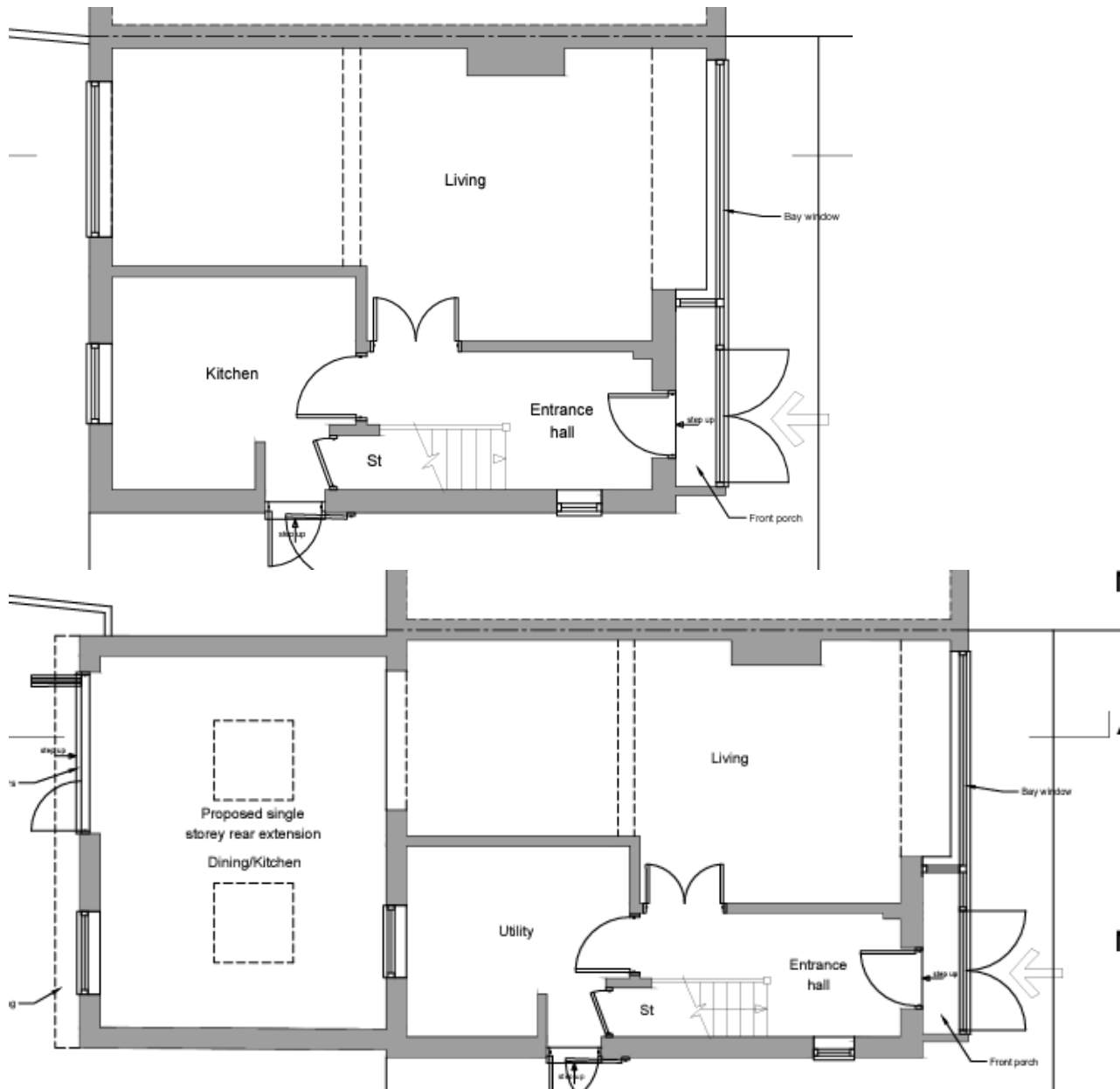
2.2. Location Plan:



3. PROPOSAL

3.1. Planning permission is sought retrospectively for a ground floor rear extension, that has a depth of 4.5m, a width of 6m and a height of 3.3m inclusive of the parapet wall.

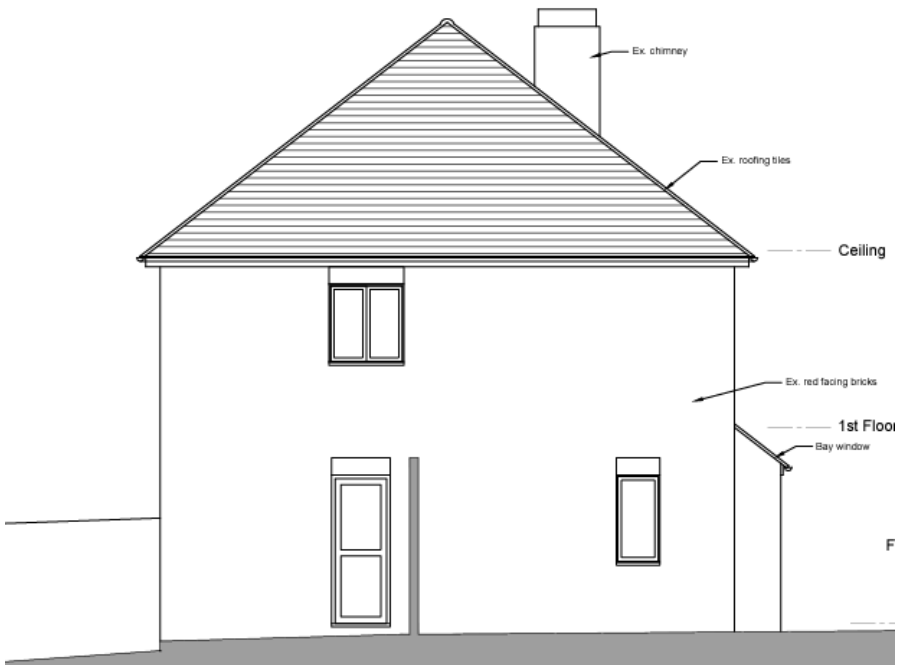
3.2. Pre-existing and existing ground floor plan:



3.3. Pre-existing and existing rear elevation:

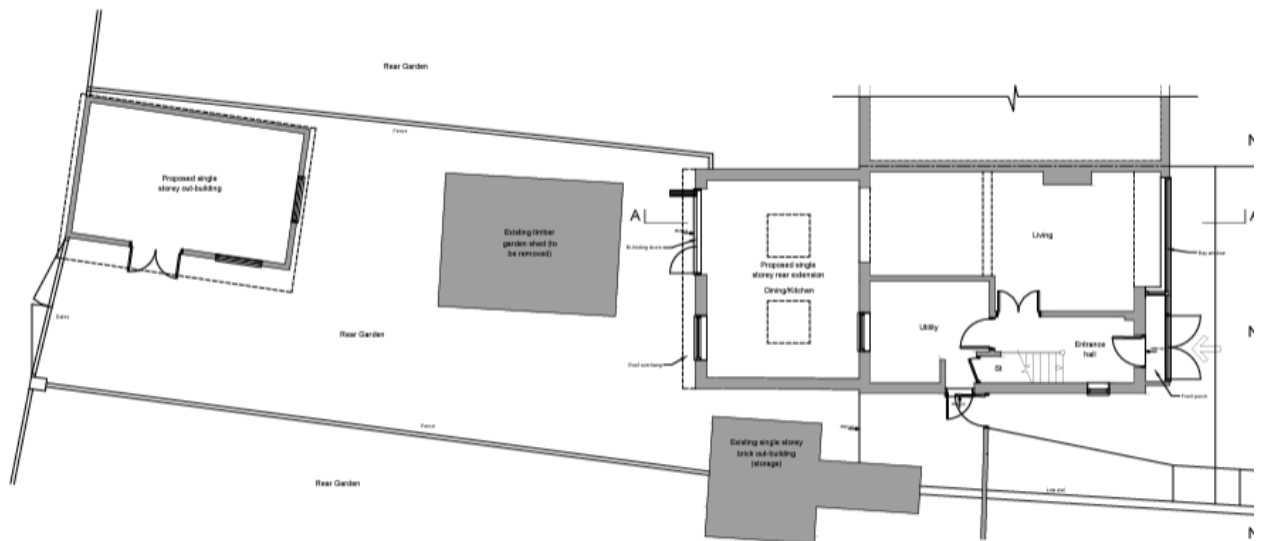


3.4. Pre-existing and existing side elevation:

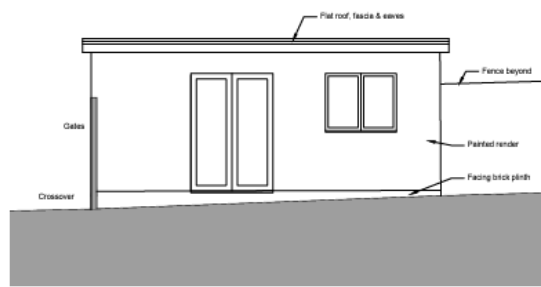




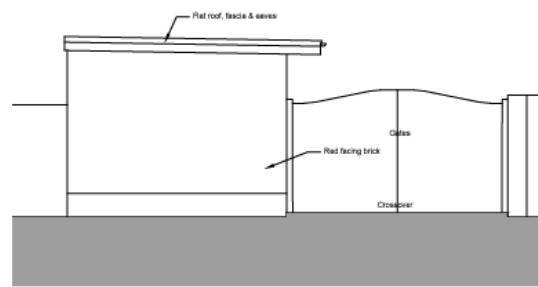
3.5 Outbuilding Location:



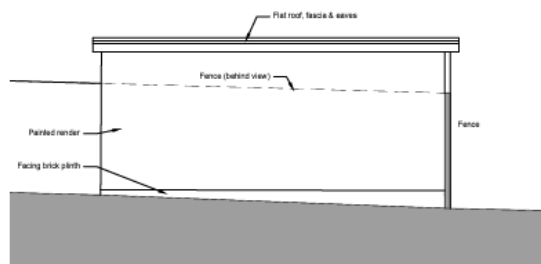
3.6 Outbuilding elevations:



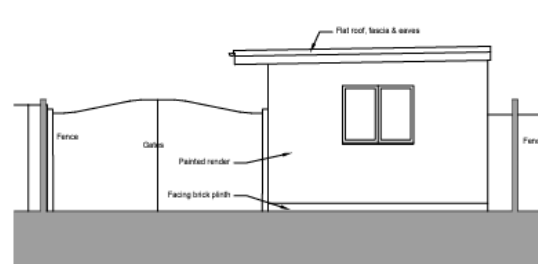
1 PROPOSED SOUTHEAST ELEVATION



2 PROPOSED SOUTHWEST ELEVATION



3 PROPOSED NORTHWEST ELEVATION



4 PROPOSED NORTHEAST ELEVATION

4. RELEVANT PLANNING HISTORY

4.1. The relevant planning history relating to the application site is summarised as follows:

4.2. 23/03180/PLUD - Proposed hip to gable loft conversion with rear dormer roof extension and front opening roof windows. **LAWFUL DEVELOPMENT CERTIFICATE (PROPOSED)** – Proposed use/development is lawful

5. CONSULTATION SUMMARY

A) Statutory

None were received.

B) Local Groups

None were received.

C) Adjoining Occupiers

Impact on neighbouring amenity

- Using the roof as a sitting out space
- Large wooden shed in the middle of the garden blocking light

- Loss of light to neighbouring patio

Drainage

- Drainage concerns due to drain being moved

Other Matters

- Building control application includes a loft conversion
- No structural engineer attended
- Damage was caused to neighbouring property
- Unsociable working hours
- Boundary dispute
- Unclear on the use of the outbuilding
- No party wall agreement
- Threats made to neighbour

6. POLICIES AND GUIDANCE

National Policy Framework 2023

NPPG

The London Plan

- D1 London's form and characteristics
- D4 Delivering good design

Bromley Local Plan 2019

- 6 Residential Extensions
- 37 General Design of Development

Bromley Supplementary Guidance

- Urban Design Supplementary Planning Document (July 2023)

7. ASSESSMENT

7.1. Design - Acceptable

7.1.1. Design is a key consideration in the planning process. Good design is an important aspect of sustainable development, is indivisible from good planning, and should contribute positively to making places better for people. The NPPF states that it is important to plan positively for the achievement of high quality and inclusive design for all development, including individual buildings, public and private spaces and wider area development schemes.

- 7.1.2. London Plan and BLP policies further reinforce the principles of the NPPF setting out a clear rationale for high quality design.
- 7.1.3. Policies 6 and 37 of the Bromley Local Plan and the Council's Supplementary Planning Guidance seek to ensure that new development, including residential extensions are of a high quality design that respect the scale and form of the host dwelling and are compatible with surrounding development.
- 7.1.4. The extension incorporates a flat roof, and whilst this does not reflect the character and appearance of the host dwelling this is not uncommon in a residential setting such as this, as such it is considered that there would be no significant detrimental impact on the character and appearance of the host dwelling.
- 7.1.5. The proposal incorporates matching materials and this would help to maintain the character and appearance of the host dwelling.
- 7.1.6. The rear extension is not visible from the front of the dwelling and as such would have a negligible impact on the character and appearance of the street scene. The rear of the property adjoins Wotton Green, and as such the extension is visible from the road, however it is considered that the scale and siting is appropriate for this residential area.
- 7.1.7. The outbuilding is sited at the rearmost part of the garden, due to the siting and scale of the outbuilding it is considered that there would be no significant harm to the character and appearance of the host dwelling or wider area.
- 7.1.8. Having regard to its scale, siting and appearance, the proposal would complement the host property and would not appear out of character with surrounding development or the area generally.

7.2. Neighbourhood Amenity – Acceptable

- 7.2.1. Policy 37 of the BLP seeks to protect existing residential occupiers from inappropriate development. Issues to consider are the impact of a development proposal upon neighbouring properties by way of overshadowing, loss of light, overbearing impact, overlooking, loss of privacy and general noise and disturbance.
- 7.2.2. Whilst it is noted that neighbours have raised concern about the impact of the rear extension, it is considered that, on balance, the rearward projection together with the height of the parapet wall, would have no significantly detrimental impact on neighbouring amenity.
- 7.2.3. Concerns were also raised about the temporary structure in the middle of the garden, this application does not include the structure in the garden (the plans

indicate that it is to be removed) and as such this cannot be assessed as part of the scheme, and should permission be forthcoming, this should be referred back to enforcement to seek removal of the structure, or to apply for permission for this.

7.2.4. Concerns were also raised in regards to the flat roof of the rear extension being used to sit out on, and should permission be forthcoming, a condition should be added to prevent use of this flat roof for sitting out.

7.2.5. Having regard to the scale and siting of the development, it is not considered that a significant loss of amenity with particular regard to light, outlook, prospect or privacy would arise.

7.3. Other Matters – Acceptable

7.3.1. Neighbours have raised concerns in regards to several other issues including the party wall, working hours, and conduct of workers and residents of the property, however these do not fall within the remit of planning and cannot be considered as part of this application.

8. CONCLUSION

8.1. Having had regard to the above it is considered that the development in the manner proposed is acceptable in that it would not result in a significant loss of amenity to local residents nor impact detrimentally on the character of the area.

8.2. Background papers referred to during production of this report comprise all correspondence on the files set out in the Planning History section above, excluding exempt information.

RECOMMENDATION:

Application Permitted

Subject to the following conditions:

- 1. Retain in accordance with the plans**
- 2. Flat roof not to be accessed**

Any other planning condition(s) considered necessary by the Assistant Director of Planning